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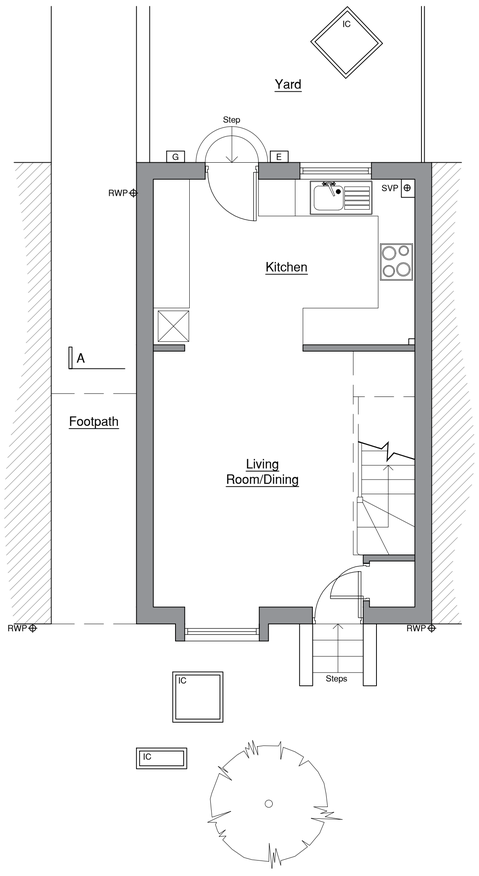
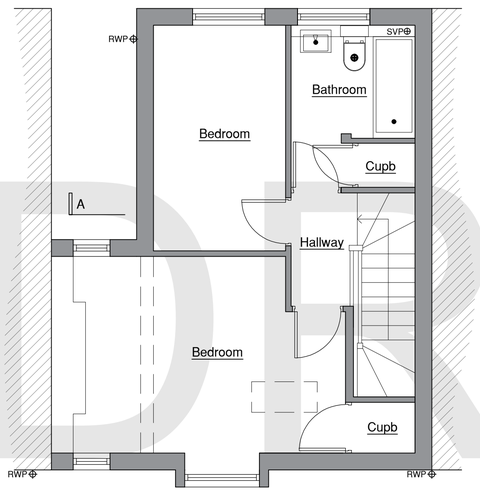
Key - Annotations

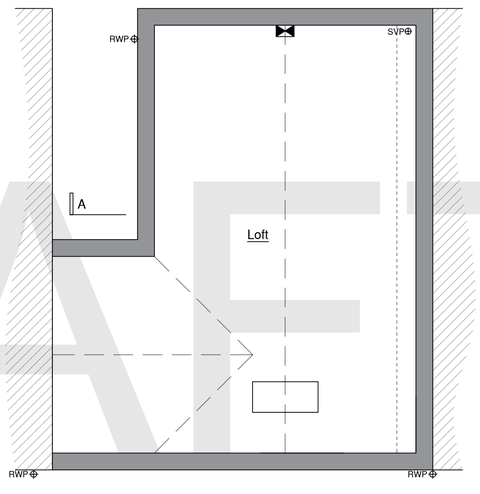
- Existing wall
- Proposed wall
- +0.000 Levels
- RWP Rainwater pipe
- SVP/SS Soil vent pipe/stub stack
- GULLY Gully
- Boiler
- Electrical consumer board
- G/E Gas/Electric meter
- IC Inspection Chamber



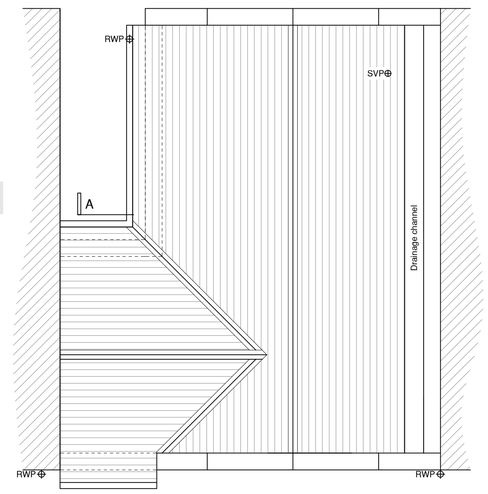
Existing Ground Floor Plan 1:50



Existing First Floor Plan 1:50



Existing Loft Plan 1:50



Existing Roof Plan 1:50

North.

0 1.0 2.0 3.0 4.0 5.0 10.0

Scale bar in metres.

Rev Date Description

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CIAT CHARTERED PRACTICE

Survey

Drawing Ref
Existing Floor Plans

Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**001**	

Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24

General Notes

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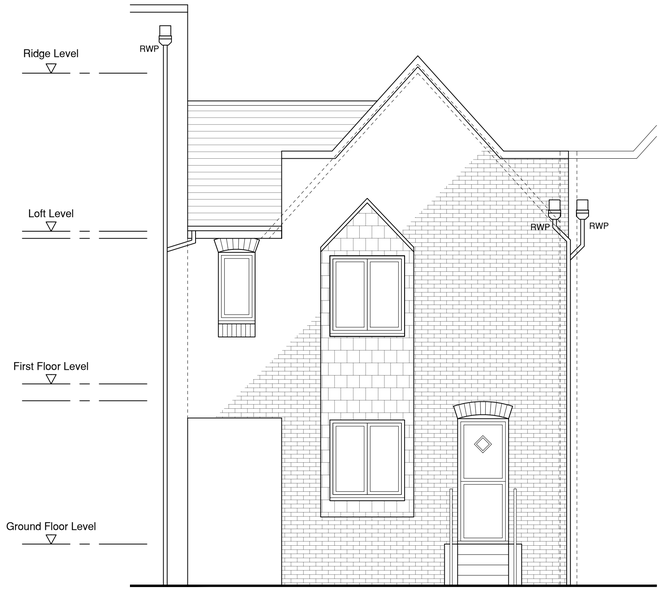
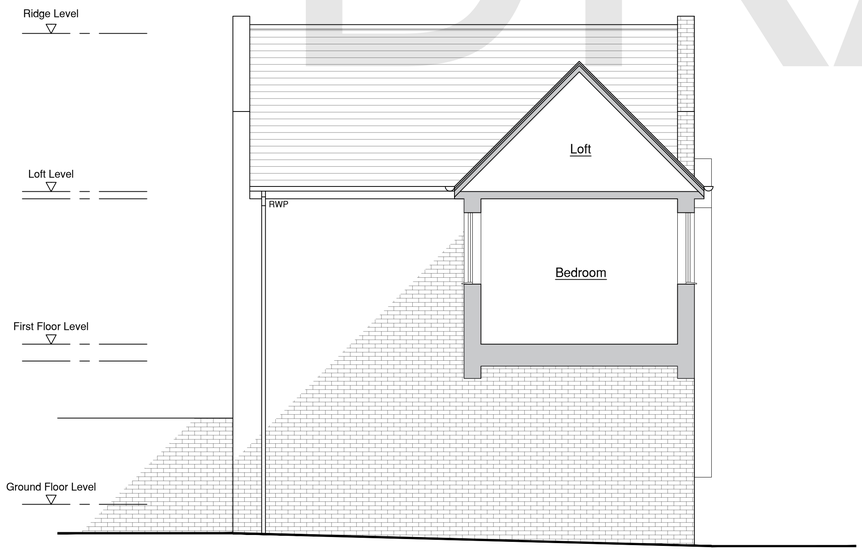
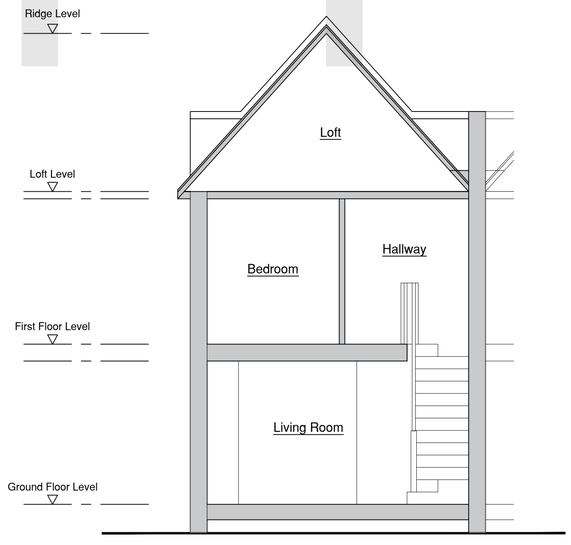


Existing Rear Elevation 1:50

Existing Front Elevation 1:50



Existing Side Elevation 1:50



Existing Section AA 1:50

0 1.0 2.0 3.0 4.0 5.0 10.0

Scale bar in metres.

Rev	Date	Description

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CIAT CHARTERED PRACTICE

Survey

Drawing Ref
Existing Elevations

Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**002**	

Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24

General Notes

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Existing Block Plan 1:500

Proposed Block Plan 1:500

Rev	Date	Description

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CIAT CHARTERED PRACTICE

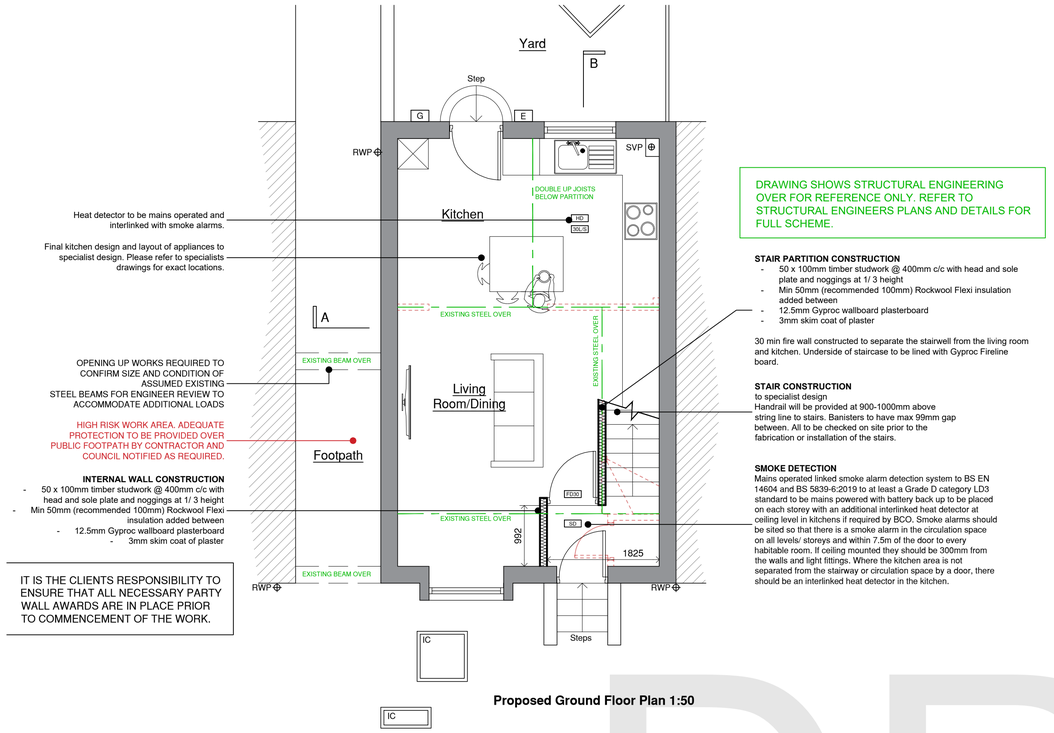
Survey

Drawing Ref
Existing Block and Location Plans

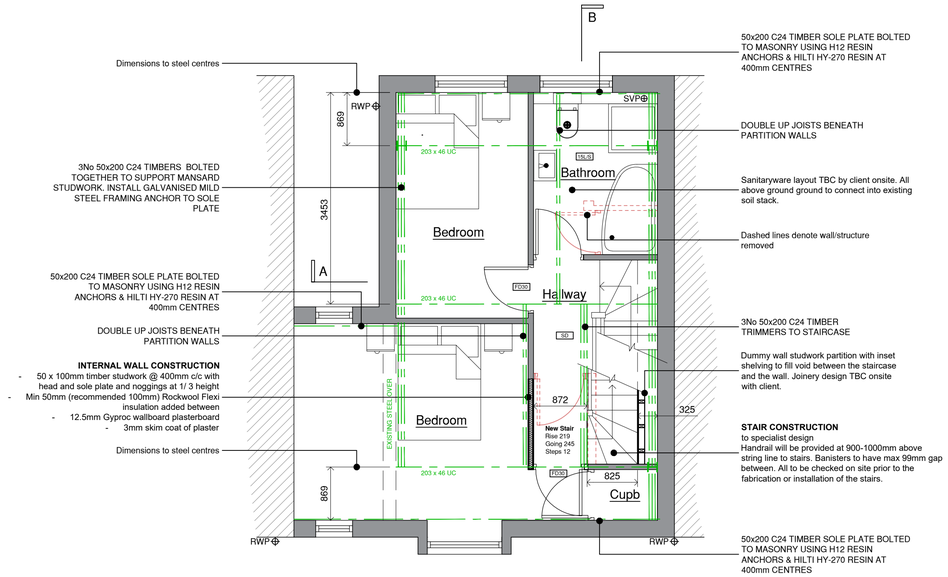
Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**003**	

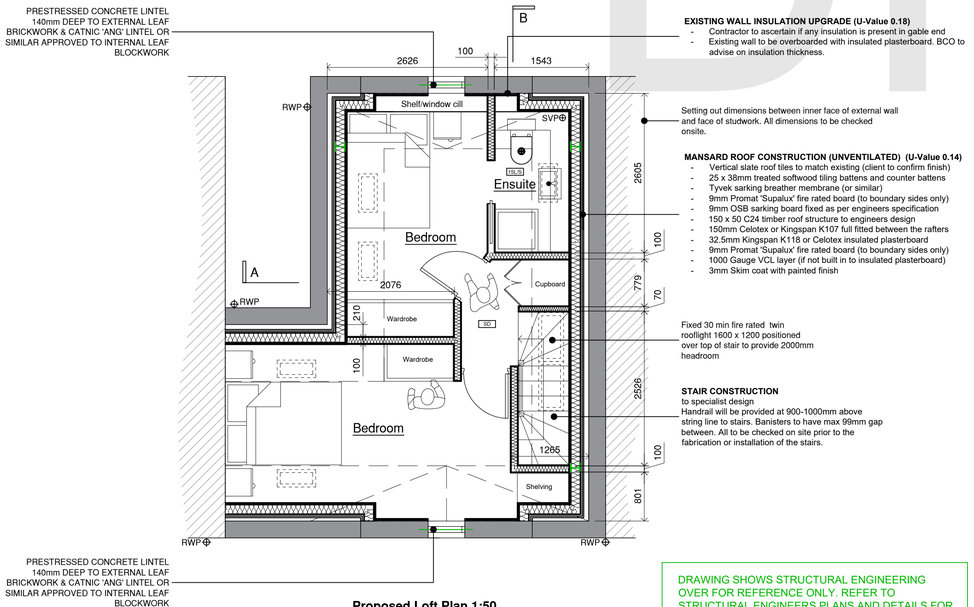
Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24



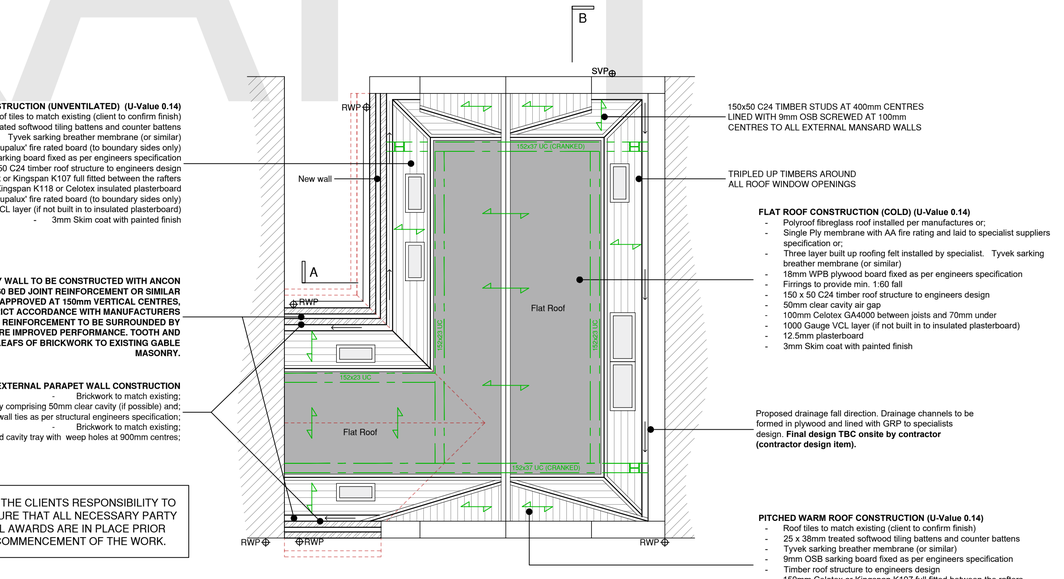
Proposed Ground Floor Plan 1:50



Proposed First Floor Plan 1:50



Proposed Loft Plan 1:50



Proposed Roof Plan 1:50

North.

Scale bar in metres.

0 1.0 2.0 3.0 4.0 5.0 10.0

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Key - Annotations

- Existing wall
- Proposed wall
- Removed
- RWP Rainwater pipe
- SVP/SS Soil vent pipe/stub stack
- GULLY Gully
- Boiler
- Electrical consumer board
- G/E Gas/Electric meter
- IC Inspection Chamber

WC: Window cill height
WH: Window head height
DH: Door head height
B: Beam height

Key - Building Regulations

- FD30 Fire rated door (30 mins)
- FD20 Fire rated door (20 mins)
- SD Smoke detector
- HD Heat detector
- 15L/S 15L/S Extraction (bathroom/utility general)
- 30L/S 30L/S Extraction (kitchen hob cover)
- 60L/S 60L/S Extraction (kitchen other)

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Rev Date Description

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CIAT CHARTERED PRACTICE

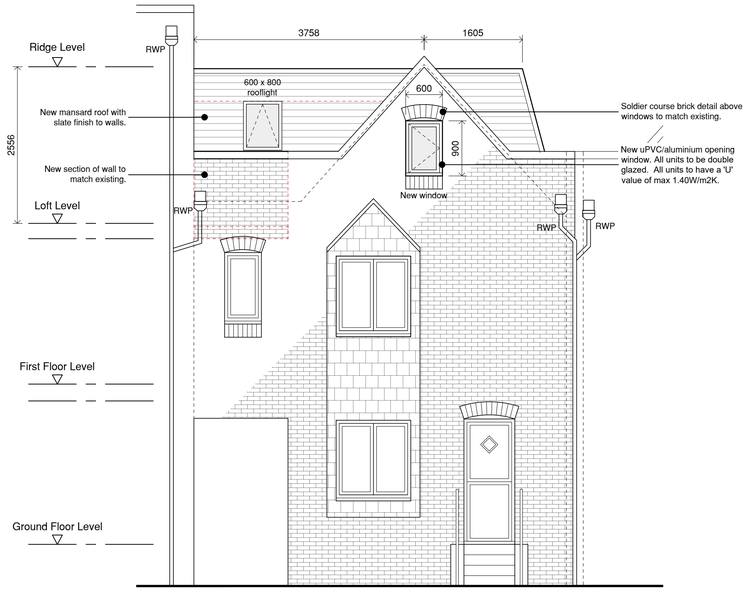
Building Regs

Drawing Ref
Proposed Floor Plans

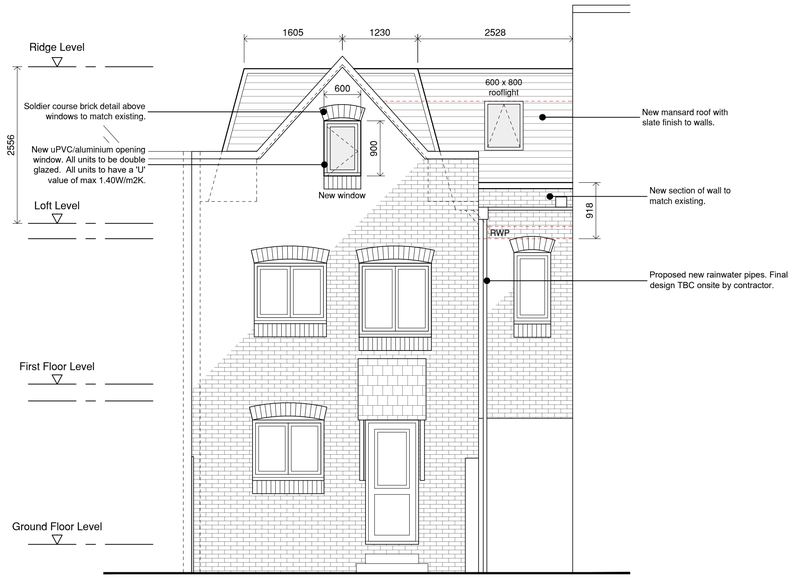
Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**100**	

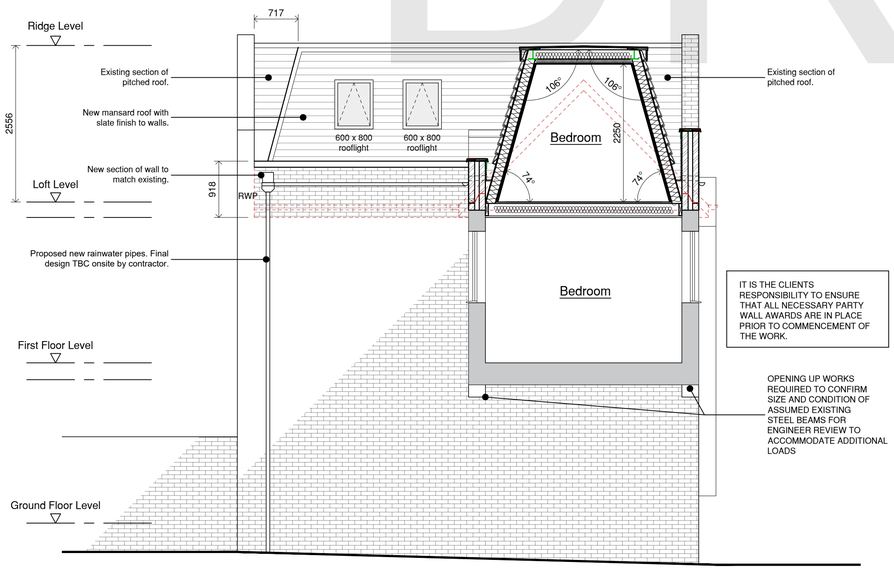
Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24



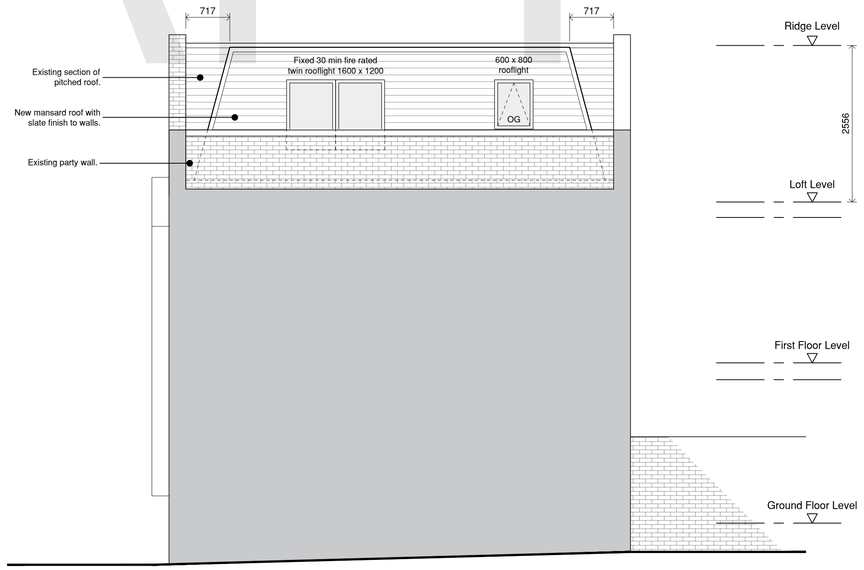
Proposed Rear Elevation 1:50



Proposed Front Elevation 1:50



Proposed Side Elevation 1:50



Proposed Side Elevation 1:50

0 1.0 2.0 3.0 4.0 5.0 10.0

Scale bar in metres.

General Notes

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Materials

- Unless otherwise specified external materials are to match existing.
- All materials used to be confirmed with client prior to purchase by the contractor.
- Refer to details for material/product specification.
- All materials to comply with approved planning permissions and building regulation submissions.

External Frames

- Toughened glass (TG).
- Obscure glazed (OS).
- Support for all glazing details per engineer's specification. All units to be double glazed. All units to have a 'U' value of max 1.40W/m2K.
- All new external glazing units to be double glazed. final colour / style / opening configurations of all window & doors tbc by client.
- All dimensions stated in mm. please note: aperture to all doors & windows to be checked on site by window / door suppliers prior to fabrication
- Toughened glass required to all windows less than 800mm above floor level.
- Toughened glass required to all doors less than 1500mm above floor level. Side panels within 300mm of the door must also have toughened glass 1500mm above floor level.
- Glazing within 30 min fire walls to also be 30 minute fire rated.
- All ironmongery specifications requirements to be confirmed by client.
- All units to comply with building regulations.
- All shop drawings to be issued to architect for approval ahead of deposits/orders being placed.

Ironmongery

Unless specified otherwise, ironmongery specification to be confirmed by client. Contractor/specialist to provide options.

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Rev Date Description

Puzzle Architecture.

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CIAT CHARTERED PRACTICE

Planning

Drawing Ref

Proposed Elevations

Project

Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**101**	

Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24

FLAT ROOF CONSTRUCTION (COLD) (U-Value 0.14)
- Polyroof fibreglass roof installed per manufactures or;
- Single Ply membrane with AA fire rating and laid to specialist suppliers specification or;
- Three layer built up roofing felt installed by specialist. Tyvek sarking breather membrane (or similar)
- 18mm WPB plywood board fixed as per engineers specification
- Firrings to provide min. 1:60 fall
- 150 x 50 C24 timber roof structure to engineers design
- 50mm clear cavity air gap
- 100mm Celotex GA4000 between joists and 70mm under
- 1000 Gauge VCL layer (if not built in to insulated plasterboard)
- 12.5mm plasterboard
- 3mm Skim coat with painted finish

Ridge Level

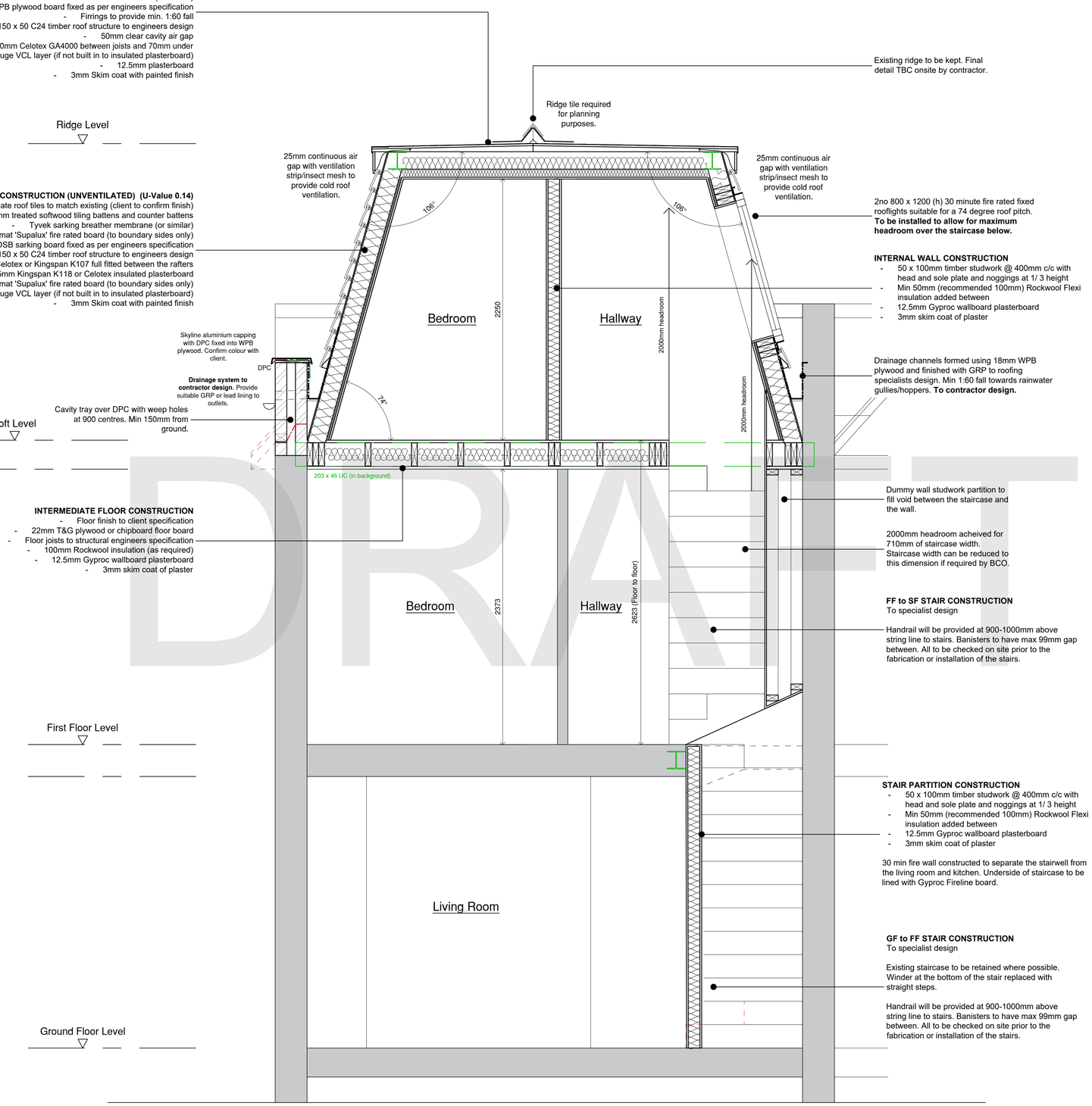
MANSARD ROOF CONSTRUCTION (UNVENTILATED) (U-Value 0.14)
- Vertical slate roof tiles to match existing (client to confirm finish)
- 25 x 38mm treated softwood tiling battens and counter battens
- Tyvek sarking breather membrane (or similar)
- 9mm Promat 'Supalux' fire rated board (to boundary sides only)
- 9mm OSB sarking board fixed as per engineers specification
- 150 x 50 C24 timber roof structure to engineers design
- 150mm Celotex or Kingspan K107 full fitted between the rafters
- 32.5mm Kingspan K118 or Celotex insulated plasterboard
- 9mm Promat 'Supalux' fire rated board (to boundary sides only)
- 1000 Gauge VCL layer (if not built in to insulated plasterboard)
- 3mm Skim coat with painted finish

Loft Level

INTERMEDIATE FLOOR CONSTRUCTION
- Floor finish to client specification
- 22mm T&G plywood or chipboard floor board
- Floor joists to structural engineers specification
- 100mm Rockwool insulation (as required)
- 12.5mm Gyproc wallboard plasterboard
- 3mm skim coat of plaster

First Floor Level

Ground Floor Level



2no 800 x 1200 (h) 30 minute fire rated fixed rooflights suitable for a 74 degree roof pitch. **To be installed to allow for maximum headroom over the staircase below.**

INTERNAL WALL CONSTRUCTION
- 50 x 100mm timber studwork @ 400mm c/c with head and sole plate and noggings at 1/ 3 height
- Min 50mm (recommended 100mm) Rockwool Flexi insulation added between
- 12.5mm Gyproc wallboard plasterboard
- 3mm skim coat of plaster

Drainage channels formed using 18mm WPB plywood and finished with GRP to roofing specialists design. Min 1:60 fall towards rainwater gullies/hoppers. **To contractor design.**

Dummy wall studwork partition to fill void between the staircase and the wall.

2000mm headroom acheived for 710mm of staircase width. Staircase width can be reduced to this dimension if required by BCO.

FF to SF STAIR CONSTRUCTION
To specialist design

Handrail will be provided at 900-1000mm above string line to stairs. Banisters to have max 99mm gap between. All to be checked on site prior to the fabrication or installation of the stairs.

STAIR PARTITION CONSTRUCTION
- 50 x 100mm timber studwork @ 400mm c/c with head and sole plate and noggings at 1/ 3 height
- Min 50mm (recommended 100mm) Rockwool Flexi insulation added between
- 12.5mm Gyproc wallboard plasterboard
- 3mm skim coat of plaster

30 min fire wall constructed to separate the stairwell from the living room and kitchen. Underside of staircase to be lined with Gyproc Fireline board.

GF to FF STAIR CONSTRUCTION
To specialist design

Existing staircase to be retained where possible. Winder at the bottom of the stair replaced with straight steps.

Handrail will be provided at 900-1000mm above string line to stairs. Banisters to have max 99mm gap between. All to be checked on site prior to the fabrication or installation of the stairs.

Proposed Section AA

0 0.5 1.0 1.5 2.0 2.5 5.0

Scale bar in metres.

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Rev Date Description

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CIAT CHARTERED PRACTICE

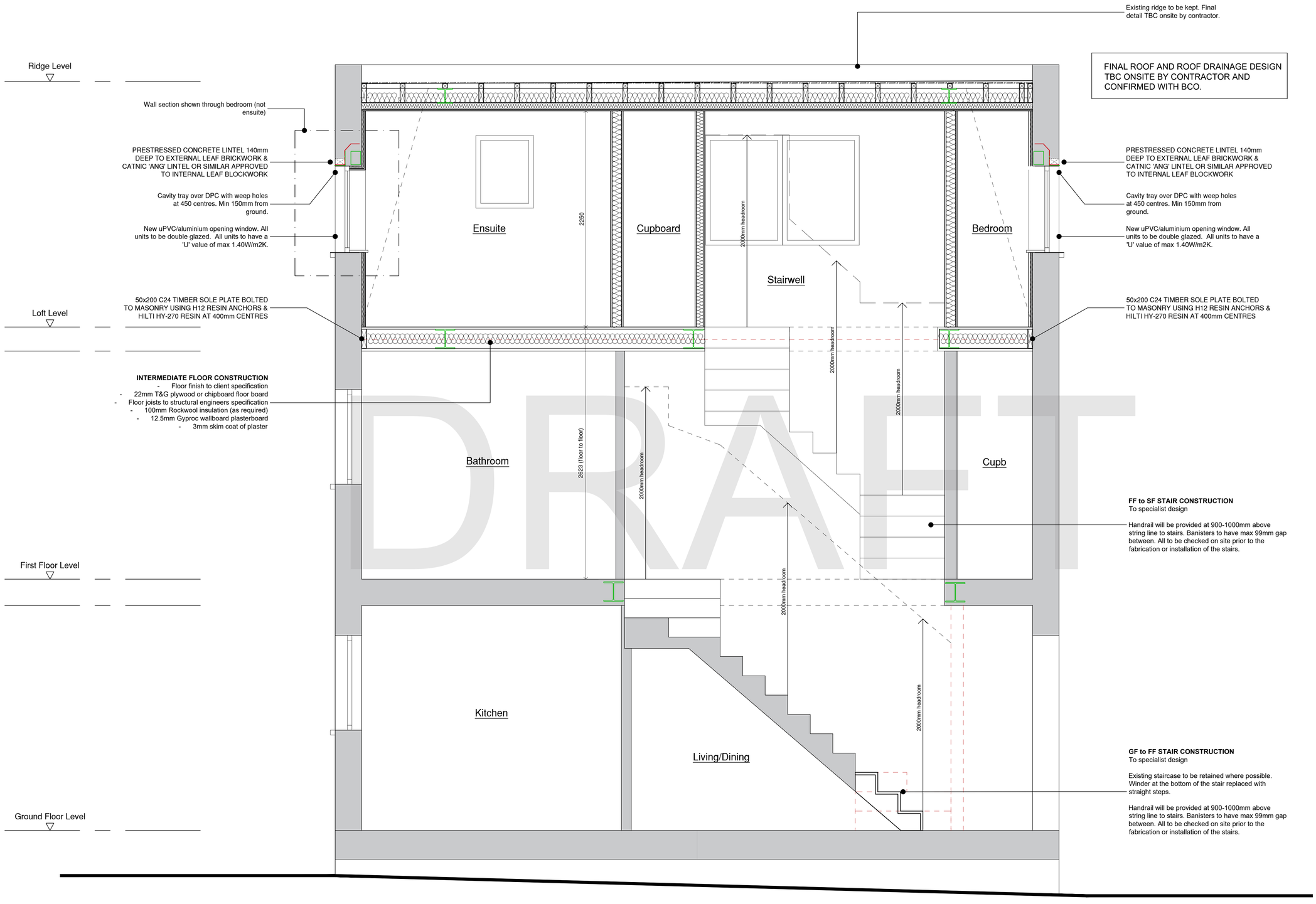
Building Regs

Drawing Ref
Proposed Section AA

Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**102**	

Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24



Proposed Section BB

0 0.5 1.0 1.5 2.0 2.5 5.0

Scale bar in metres.

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CIAT CHARTERED PRACTICE

Building Regs

Drawing Ref
Proposed Section BB

Project
Proposed Loft Conversion
26 Waterman Way, Wapping

Project No	Drawing No	Rev
36.23.WW	**103**	

Drawn	Checked	Scale	Date
LC	LC	1:50 @ A1	28.02.24

BUILDING REGULATION NOTES

GENERAL NOTES
All work is to be fully compliant with current Building Regulations Approved Documents, and to be carried out in accordance with British Standards, Codes of Practice, manufacturer's recommendations and good building practice. Brighton & Hove City Council Building Regulations department are to be notified by the Contractor at commencement and at all appropriate stages of the construction process for on-site inspection. Existing structure including foundations, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work, and as required by the Building Control Officer. All existing building services are to be located and protected throughout the works. Further investigation and justification may be requires as the construction progresses. The contractor shall inform the Client if any discrepancies are found on site.
Information give in these drawings and the structural calculations is for design purposes only. The contractor shall use site measurements for all structural items.

DEMOLITION
All demolitions to be in accordance with relevant Codes of Practice for Demolition BS 6187 (2011) Temporarily disconnect and remove all services from within the working area notifying all relevant service providers beforehand if applicable. The contractor is to be responsible for all necessary temporary support and shall ensure the stability of the structure and any adjoining structures during construction. The contractor shall be responsible for the protection of all areas of works and internal finishes against inclement weather, to prevent injury and minimise disturbance.

SITE PREPARATION
Any redundant or no longer required services are to be inspected by the contractor and decommissioned by the relevant qualified professional.

STEELWORK / LINTELS
See separate Structural Calculations Package. All new steelwork to be intumescent painted with Nullifire S or similar and approved to 30 minutes fire resistance. Building in of lintels to be in strict accordance with manufacturer's recommendations. Length and height of lintel to be determined by span and wall element.

INTERNAL WALL CONSTRUCTION
- 50 x 100mm timber studwork @ 400mm c/c with head and sole plate and noggings at 1/ 3 height
- Min 50mm (recommended 100mm) Rockwool Flexi insulation added between
- 12.5mm Gyproc wallboard plasterboard
- 3mm skim coat of plaster

To provide 30 minute fire protection where required. Form all head and sole plates, and all fixings for radiators and sanitaryware. Bathroom walls to be lined with 12.5mm tile backer board as required.

INTERMEDIATE FLOOR CONSTRUCTION
- Floor finish per client specification (assumed carpet and underlay)
- 22mm tongue and groove plywood or chipboard floorboard
- First floor joists per engineer's specification
- 100mm (recommended 150mm) Rockwool Flexi insulation or similar inserted in-between the joists
- 12.5mm Gyproc wallboard plasterboard
- 3mm skim coat of plaster

MANSARD ROOF CONSTRUCTION (UNVENTILATED) (U-Value 0.14)
- Vertical slate roof tiles to match existing (client to confirm finish)
- 25 x 38mm treated softwood tiling battens and counter battens
- Tyvek sarking breather membrane (or similar)
- 9mm Promat 'Supalux' fire rated board (to boundary sides only)
- 9mm OSB sarking board fixed as per engineers specification
- 150 x 50 C24 timber roof structure to engineers design
- 150mm Celotex or Kingspan K107 full fitted between the rafters
- 32.5mm Kingspan K118 or Celotex insulated plasterboard
- 9mm Promat 'Supalux' fire rated board (to boundary sides only)
- 1000 Gauge VCL layer (if not built in to insulated plasterboard)
- 3mm Skim coat with painted finish

FLAT ROOF CONSTRUCTION (COLD) (U-Value 0.14)
- Polyroof fibreglass roof installed per manufactures or;
- Single Ply membrane with AA fire rating and laid to specialist suppliers specification or;
- Three layer built up roofing felt installed by specialist. Tyvek sarking breather membrane (or similar)
- 18mm WPB plywood board fixed as per engineers specification
- Firrings to provide min. 1:60 fall
- 150 x 50 C24 timber roof structure to engineers design
- 50mm clear cavity air gap
- 100mm Celotex GA4000 between joists and 70mm under
- 1000 Gauge VCL layer (if not built in to insulated plasterboard)
- 12.5mm plasterboard
- 3mm Skim coat with painted finish

PITCHED WARM ROOF CONSTRUCTION (U-Value 0.14)
- Roof tiles to match existing (client to confirm finish)
- 25 x 38mm treated softwood tiling battens and counter battens
- Tyvek sarking breather membrane (or similar)
- 9mm OSB sarking board fixed as per engineers specification
- Timber roof structure to engineers design
- 150mm Celotex or Kingspan K107 full fitted between the rafters
- 57.5mm Kingspan K118 or Celotex insulated plasterboard
- 1000 Gauge VCL layer (if not built in to insulated plasterboard)
- 3mm Skim coat with painted finish

INTERNAL DOORS
Fire rating for all new doors noted on drawings. Dimensions shown on drawing show structural opening sizes - contractor to measure onsite prior to ordering.

FIRE
Smoke detectors are to be fitted on the ceiling in the halls at as shown.

Kitchen of the main building is to have a heat detector fitted on the ceiling - all the above are to have sounders. Alarm system to be provided in accordance with BS 5839-6:2004 to a grade D category LD3 system.

All exposed beams are to be lined with one layer of 15mm Gyproc Fireline plasterboard or 2 layers of 12.5mm Gyproc Wallboard plasterboard with taped joints and a 6mm plaster skim coat to BS5492 1990 Code of Practice for Internal Plastering.

Any perforations through the floors or walls are to have adequate fire protection - Fire Collar to pipework running through property and Flame guards to any recessed lighting.

All doors leading from commonways/ staircases (except WC) to be half hour fire resistant - FD30 doors.

Any glazing within 1000mm of any boundary side to be fire rated to 30mins. This applies also to any construction elements affected.

All windows that are designed to be escape are to have a minimum opening of atleast 0.33m2 with a minimum dimension of 450mm in height and width. The height to the cill from the floor is between 800 - 1100mm

WINDOWS AND DOORS
Support for all glazing details per engineer's specification. All units to be double glazed. All units to have a 'U' value of max 1.40W/m2K.

Toughened safety glazing required on doors and windows at low level to BS 6206 (under 800mm from FFL).

All windows to be fabricated (once measured on site for available aperture size), specified and fitted by the specialist contactor with suitable FENSA registration and certification.

Any glazing within 1000mm of any boundary side to be fire rated to 30mins.

Support for all glazing details per engineer's specification. All units to have a 'U' value of max 1.40W/m2K.

Toughened safety glazing required on doors and windows at low level to BS 6206 (under 800mm from FFL).

Any glazing within 1000mm of any boundary side to be fire rated to 30mins.

VENTILATION
Mechanical extract required in kitchen in property - above cooker hob. Mechanical extract to provide an extract rate of 60 l/s with ducting 110mm in diameter extracting to outside with swept bends and flexible ducting supports.

Mechanical extract required in bathrooms, en-suite's and WC of property. Mechanical extract to provide an extract rate of 30 l/s with ducting 110mm in diameter extracting to outside with swept bends and flexible ducting supports.

In locations with a WC's the mechanical extract is to be fitted with 30min timed overrun is to be fitted

Background ventilation to be allowed for by fitting suitable trickle ventilation - minimum 5000mm² for habitable rooms and 2500mm2 for non-habitable rooms

DRAINAGE & SANITARY APPLIANCES
General

All new pipework:
WC - Upvc 100mm trap and pipe
Sink/WHB - Upvc 40mm trap and pipe
Bath/shower - Upvc 40mm trap and pipe

All drainage underground with min 1:40 fall in 110mm diameter pipework to BS 4660.
All water feeds to appliances to be copper 15mm pipework
All new service runs to have a min 1:40 fall
All bathroom and kitchen appliances are to drain quickly, quietly and thoroughly.
All new service runs to have access for clearing in bends/ change of directions in pipework
All new rainwater goods to be Upvc, 75mm half round gutters and 50mm downpipes shown as applicable to new building sections.

Adapt existing RWP outlet with roofs in accordance with manufacturer's recommendations
Where there is disused drainage and chambers they should be decommissioned to prevent them being a nesting ground for rats
Hot water feed to the bath to be limited to 48 degrees
A competent person will need to give written confirmation that the water supply (hot and cold) delivered to the washbasin/bidet/bath/shower is 'wholesome'-reference should be made to The Water Supply (Water Fittings) Regulations 1999
AA/Durgo to be fitted to the highest point of the SVP
SVP to terminate 900mm above the head of any opening window (within 3m) and is to be fitted with a bird proof cage

Waste/sanitary items

All items as shown to drain into the existing drainage system per the proposed plan and on site contractor specification.

Please refer to on site direction from the plumber/ specialist contractor for full details of the drainage system on site and the new design proposed. All details to be agreed by the BCO prior to the fitting/ amends on site.

Drainage - surface

Additional surface water relief may be achieved by a Soakaway connection, if requested by BCO. Potential 3m² soakaway constructed either square or circular filled with rubble to be formed min 5m away from main building - all storm water to be drained into here. Soakaway designed to BRE Digest 365 following a percolation test prior to foundation being poured.

HEATING & ELECTRICAL
Heating system be specified, fitted and tested by a CORGI registered plumber. Suggested configuration to be confirmed by contractor and approved by BCO prior to construction. An estimated position is shown on the plans, this is tbc by client. All as specified in the Domestic Heating Compliance Guide.

All gas fittings, appliance, and gas storage vessels to be installed by a person competent to do so. They must be a member of a class of persons approved by the HSE; this means they must be registered with Gas SAFE. The following information is to be provided: The Gas SAFE licence number, the start date and expiry date of licence and indicate the licence holder is qualified to carry out the works in hand and the qualifications are up to date.

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS7671, the IEE 17th Edition Wiring Guidance and Building Regulation Part P (electrical safety). On completion of the works a copy of the installer's Electrical Installation Test Certificate compliant with BS7671 is to be given to the client and the local authority.

Prior to covering all wiring/cables the applicant is to ensure that the installation is inspected by a competent person and on completion of the work, in addition to the Installation Test Certificate, a competent person's Electrical Installation Certificate compliant with BS 7671 is to be given to the client and the local authority.

CONSERVATION OF FUEL & POWER
Please note at least 75% of new light fittings are to be energy efficient light fittings.

Building fabric to be constructed so that there are no reasonably avoidable thermal bridges in the insulation layers caused by gaps within the various elements at the joints between elements and at the edges of elements such as those around window and door openings.

Windows and doors are to overlap insulated cavity closures by a minimum of 30mm to prevent thermal bridging.

Exposed timbers externally to be treated against infestation and rot in accordance with BS Code of Practice 98.

General Notes

1. All dimensions are to be checked onsite. Do not scale from these drawings.
2. Structural information on drawings is shown for quick reference only. Refer to Structural Engineers drawings and calculations for construction information.
3. Building Regulations compliance is the responsibility of the contractor.

Rev	Date	Description

Puzzle Architecture.

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CIAT CHARTERED PRACTICE

Building Regs

Drawing Ref
Building Regs Notes

Project
26 Waterman Way, Wapping
Mansard Loft Conversion

Project No	Drawing No	Rev
36.23.WW	**104**	

Drawn	Checked	Scale	Date
LC	LC	NTS	25.07.24